

## 5.0 Development Design Guidelines and Standards

### 5.1 Introduction

The City of Roseville has identified the revitalization of downtown (Vernon Street and Historic Old Town) as a priority issue. In recent years the City of Roseville has emerged as a retail destination with the success of the Galleria Mall, among others. However, Roseville still needs to create a “heart and soul”, a pedestrian oriented hub where people stroll, shop, dine, and enjoy the amenities along Dry Creek with their friends and family that is distinct from a suburban shopping experience.

The Roseville community understands how important it is to build upon Roseville’s assets (e.g., Dry Creek, period style architecture, walkable street grid, etc.), to create a downtown environment that can accommodate further commercial and residential growth and serve as the retail, office, and entertainment center of the community. The City has established these design guidelines to supplement the **Downtown Code** regulations, and to provide recommendations for the aesthetic improvement of the downtown that will create a built environment that reflects the desires of the community.

The design guidelines are organized into three sections. They are as follows:

**Design Guidelines Applied** - This section establishes the goals of the guidelines and a summary of how the document should be used.

**Private Development Design Guidelines** - This section establishes design criteria for development and reconstruction of all uses that are privately owned. This chapter presents design guidelines for private sector projects in downtown that will serve as the primary business, commercial, entertainment, and residential hub of downtown Roseville. These guidelines focus specifically on accommodating mixed-use, commercial, and residential development while also developing an active street life. Design guidelines for public areas will be considered in a subsequent chapter.

**Parking and Circulation Design Guidelines**- This section provides traffic and circulation recommendations.

Unless otherwise indicated, the guidelines will apply to the entire downtown area (both Old Town and Vernon Street). However, there may be situations where guidelines are specific to one of the two following land use types:

- **Commercial/Mixed-Use land use area** – The commercial mixed-use land use area is comprised of the Old Town Commercial, Washington Corridor, Washington Corridor (intensified), Vernon Street, Dry Creek Mixed-Use and Douglas Corridor districts.
- **Residential land use area** – The residential land use area is comprised of the Old Town Bungalow, Vernon Bungalow and Creek View residential Districts.



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### 5.1.1 Design Guidelines Applied

The purpose of the design guidelines is to provide guidance for the construction, conservation, adaptive reuse, and enhancement of buildings, streetscape, and full enjoyment of Dry Creek, Royer Park, and Saugstad Park as an amenity contained within the Vernon Street and Old Town Specific Plan area. These guidelines are intended to assist property owners, design professionals and developers, City staff, and review bodies. Each of these interests has a vital and often related role to play in the continued revitalization of Roseville's downtown.

- **Property Owners** - The guidelines provide property owners and project architects with a clear understanding of the design elements that are desired for new development projects and for reconstruction and remodeling of existing projects within the downtown core. This document will work in conjunction with the provisions of the Specific Plan and will provide a clear set of expectations and responsibilities for property owners and architects.
- **Design Professionals and Developers** - The guidelines provide a clear and graphic direction for construction. The guidelines will serve as an informational tool that can provide a link between the property owner and the designer or developer and will clarify the elements of desirable quality design.
- **City Staff** - City staff will use the guidelines to assist applicants and their representatives with project processing. The guidelines will serve as the basis for evaluating proposals for quality of design and compatibility with the Specific Plan objectives.
- **Review Bodies** - The guidelines provide the City of Roseville Planning Department, Design Committee, Planning Commission, City Council, and other review bodies with a basis for evaluating the quality of design.

The design guidelines are by specific intent prescriptive. They describe appropriate kinds of changes and improvements that can be made to existing structures, and recommend the incorporation of specific design elements in new construction. The guidelines, while attempting to be comprehensive in scope, certainly are not exhaustive in detail. The overall aim is to encourage creative approaches and solutions within a workable framework. The focus of the "form-based" design guidelines is the relationship of development to the street, not a mandatory preference of one architectural style over another architectural style.

**Applicability:** The guidelines are to be used to guide new construction and renovation of existing structures within Downtown and do not apply to existing structures not undergoing improvements. New residential buildings (both multi-family and mixed-use projects), additions, exterior alterations, or landscaping, and modification to approved landscaping plans or parking lot designs will conform with these guidelines, where applicable. These guidelines are to be applied within the confines of private property. These guidelines are form based and should be applied to projects regardless of the type of land use.



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**Meaning of “should”, “shall”, “will”, “encouraged” and “discouraged”:** Guidelines that embody the word “should” are intended to be applied as stated. However, an alternative measure may be considered if it meets or exceeds the intent of the guidelines.

- Guidelines using the words “shall” or “will” are mandatory and must be included in the project’s design.
- Guidelines using the words “encouraged” or “discouraged” are desirable, but are not mandatory.

**Use of illustrations and photos:** The images used to illustrate the guidelines should be reviewed in reference to the specific guideline the image is associated with and not with all the guidelines within the document (i.e., an image used to illustrate an encouraged building material may also contain a site condition that is not encouraged). The intent is for the reader to focus on the portions of each graphic highlighted with the caption, callouts, and associated text. Additionally, though an image may only illustrate a portion of the guideline it is associated with, the intent of the entire guideline should be met. The illustrations and photographs depict examples or options for implementation of a recommended policy.

**Organization:** The design guidelines identify key elements of a comprehensive design policy, and serve as a framework for each individual project within the downtown. Adherence to these guidelines will ensure that the downtown develops in a sensitive manner that will ultimately create the urban environment that the community desires, that promotes connectivity with Royer Park, Saugstad Park, and Dry Creek, mirrors the vision for downtown, and the intentions of the City and community. Ultimately the goal of the Specific Plan design guidelines is to ensure that the businesses and properties honor the history of Roseville, while balancing the desire for connectivity, pedestrian accessibility, dynamic environments, and desire for amenities. The design guidelines will be presented with the entire downtown area in mind. However, it may become necessary to present a few guidelines that are district specific.

Within each, there are subsections containing design criteria that relate to various aspects of site design and development, circulation and parking, landscaping and architecture. Each subsection is organized to include the following elements:

### Design Guidelines

The design guidelines provide a list of specific recommendations and the requirements for inclusion in project design and are those design attributes that can be evaluated on a graded scale for level of compliance (i.e., 1-5).

### Technical Guidelines

The technical guidelines identify specific design attributes or measures that are more prescriptive in nature and should be incorporated into a project design. The technical guidelines are typically evaluated on a yes/no or not applicable scale.

### Graphics

Each section within the Design Guidelines is supplemented by annotated drawings and photographs that are intended to provide visual support for the corresponding design and technical guidelines. It should be noted that the photographs provided in each subsection were selected to illustrate a specific desirable (or undesirable) design attribute. The photographs are not intended to favor one product or development type over another. Where a conflict exists between an image (with associated annotation) and the text, the textual guideline shall govern.



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Tower Theater on Vernon Street - 1940 and 2008



Many of the design and technical guidelines will apply to all types of projects, as a majority of the design concepts are universal in their applicability. Each section does, however, contain guidelines that are unique to that particular project type.

Utilizing these goals for guidance, this chapter presents design guidelines for private sector projects in Downtown that will serve as the primary business, commercial, entertainment, and residential hub of Roseville. These guidelines focus specifically on accommodating mixed-use, commercial, and residential development while also developing an active street life. Design guidelines for public areas will be considered in a subsequent chapter.

These guidelines should be used to influence the design of development/redevelopment of residential and non-residential land uses in the Specific Plan area and apply to private development projects. These guidelines are organized and written to help achieve superior design quality and a rich mix of uses throughout both Vernon Street and Historic Old Town.

Designers, developers, and residents are urged to become familiar with these design guidelines to apply them to the design of projects from the very beginning to ensure that the design, review, and permitting processes are as efficient as possible. Designers and developers are also urged to recognize that these guidelines are a minimum starting point for quality development. It cannot be claimed that these guidelines encompass every conceivable technique for achieving a high level of design quality.

Designers are encouraged to use their own creativity and local experience to implement the highest quality of design. Owners of properties should strive to be creative and innovative, and should be encouraged to look beyond franchise or boilerplate architectural and landscape architectural design treatments. It is encouraged that property owners involve City staff, community groups, and affected merchants and business owners very early in the design process prior to making significant investments in design. While innovation and creativity are sought, the architect is cautioned that substantial deviation from the guidelines may result in a protracted review period.



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## 5.1.2 Goals

The following goals provide clarity of the design philosophy expressed throughout these guidelines. The intention of the design guidelines is to promote a desired level of development quality in the Downtown that will:

**Goal 1:** Contribute to implementing the goals, objectives, and policies provided in the General Plan and the Downtown Specific Plan;

**Goal 2:** Stimulate investment and strengthen the economic vitality of the Downtown;

**Goal 3:** Contribute to a positive physical image and identity of the City;

**Goal 4:** Promote a visually attractive, safe, and well-planned Downtown through the incorporation of sound design principles;

**Goal 5:** Celebrate and build upon the inherent assets of each project area – Vernon Street and Historic Old Town Area;

**Goal 6:** Create unique identities for the two major specific plan sub-areas – Vernon Street Area and Historic Old Town Area;

**Goal 7:** Protect Downtown residents from unsafe or unsightly conditions;

**Goal 8:** Minimize negative impacts of new development and redevelopment;

**Goal 9:** Preserve and enhance the image, character, and history of the Downtown core and residential neighborhoods; and

**Goal 10:** Create a distinctly different set of development expectations for Downtown that are entirely different from Roseville’s greenfield areas.



**Business**



**Residential**



**Commercial**



**Entertainment**



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### 5.2 Overall Design Principles

**Intent:** This section provides general guidelines for site and architectural components common to residential, mixed-use, and commercial uses within the Downtown. Scale and the creation of an appropriate downtown environment will be of paramount importance.

#### Design Guidelines

##### **Promote sound architectural practices.**

New infill development and renovation to existing structures must respect sound architectural design practices in order to create a positive ambiance and strike the right tone and aesthetic within the Downtown. The standards contained in this chapter do not dictate the use of specific architectural styles. Contemporary design may be used when architectural standards guide the designer in massing, proportion, scale, texture, pattern, and line. New creative interpretations of traditional design vernacular are particularly encouraged.



##### **Retain or repeat traditional facade components.**

Improvements and changes to structures will, and need to, occur over time. The concern is that these changes do not damage the existing traditional building fabric and that the results of building renovation enhance the overall design integrity of the building. New infill structures should use traditional façade components (e.g., bulkheads, arches, plazas, and balconies) to create patterns and alignments that visually link buildings within a block, while allowing an individual identity for each building. These elements are familiar to the pedestrian and help establish a sense of scale.



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### Develop a steady rhythm of façade widths.

The traditional commercial lot width in the downtown area has given rise to buildings of relatively uniform width that create a familiar rhythm. This is particularly true about Vernon Street buildings, and those in the Old Town Commercial District. This pattern helps to tie the street together visually and provides the pedestrian with a standard measurement of their progress. Reinforcement of this façade rhythm is encouraged in new buildings, even if a singular structure.



### Create a comfortable scale of structures.

A critical step in ensuring pedestrian scale in the downtown is encouraging uniform front façade heights that form a continuous streetwall. This will be especially important in the **commercial mixed-use zones**. The **residential zone** will incorporate setbacks and frontages that are more appropriate to residential properties. Upper floors should stepback from the streetwall so pedestrians feel enclosed by the surrounding buildings but not confined.



### Distinguish between upper and lower floors.

Through use and design, the ground floor should welcome the public. Retail, dining, or active residential uses can help create a vibrant street life. Greater use of transparent materials (i.e., windows), rather than solid materials (i.e., walls) will encourage pedestrians to glance at storefronts and linger on the street. Upper floors are more likely to contain residential or non-retail commercial uses (i.e., offices) and will contain less window space.



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Figure 5.3.1 Buildings should be placed along the front setback to provide the desired pedestrian environment.



Figure 5.3.2 Outdoor dining creates a vibrant streetlife and is strongly encouraged.



Figure 5.3.3 Paseos and pedestrian passageways between buildings are a creative use of space to maximize site layout.

### 5.3 Site Planning

#### 5.3.1 Site Design

**Intent:** Site design considerations involve a building's relationship to the site, the street, and adjacent buildings. In the Downtown, buildings should be sited in ways that provide a vibrant streetscape balanced with a comfortable and safe environment for pedestrians while accommodating vehicles.

#### Design Guidelines

**DTC-1** In the Central Business District, Historic District and Commercial/Mixed-Use Zones, buildings should be constructed near or along the front property line(s). Zero setback from the front property line(s) is encouraged. Variations in zero setback from the property line(s) may be appropriate when the resulting setback provides greater accommodation for pedestrian movement, sidewalk dining areas, enhanced sidewalk business entries, and enhances the pedestrian environment overall. (Figure 5.3.1)

- Where feasible, front setbacks should accommodate active public uses (i.e., outdoor dining) and should use hardscape and limited landscaping (e.g., potted plants and flower beds). (Figure 5.3.2)
- Retain existing paseos or alleys where possible. Create additional pedestrian paseos and linkages to parking lots, activity areas, or alleys within the middle one-third of a block. In no case should historic structures be modified to achieve this particular guideline. (Figure 5.3.3)
- Buildings situated facing a plaza, paseo, or other public space are encouraged.
- Buildings should be constructed to the back-of-sidewalks, or to the front property line, along the street, and from side property line to side property line. A minimum of 70% of the building frontage should be built up to the front property line with a zero setback.



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- Exceptions to this building frontage standard include buildings with residential units on the first floor, and buildings with outdoor public spaces, outdoor dining and wider public walkways.
- Whenever possible, lots should be consolidated. This allows for more efficient infill developments, heightened design detail, and an improved pedestrian experience. (Figure 5.3.4)
- Where possible, service areas should be located to the rear of the building and completely concealed from view. (Figure 5.3.5)
- Where trash enclosures, loading docks, utility equipment, and similar uses might be visible from a side street or neighboring property, they should be screened with a wall made of similar material to the building.



Figure 5.3.4 A lot of sufficient size (10,000 sq.ft. minimum) allows the designer to create a project that is interesting and displays heightened design criteria.

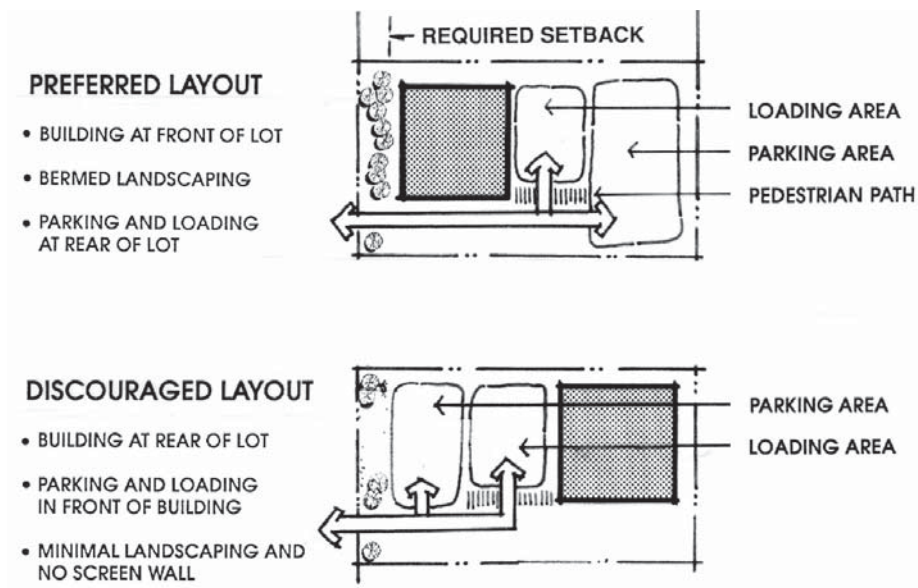


Figure 5.3.5 A successful site design locates service areas and parking to the rear of the building.



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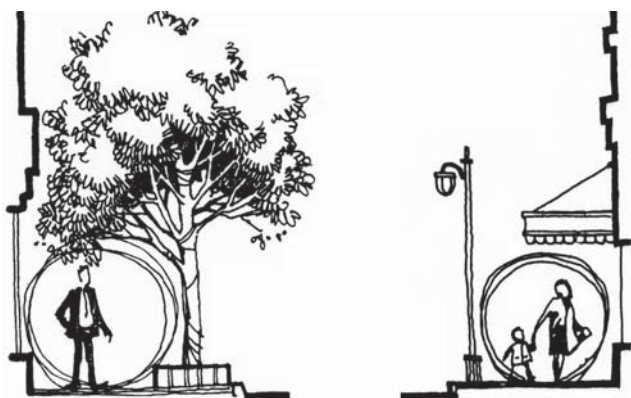


Figure 5.3.6 A safe and friendly pedestrian environment encourages people to walk, shop, and linger.



Figure 5.3.7 A continuous street frontage allows for a safe and active pedestrian environment.



Figure 5.3.8 a-b Awnings provide shelter from the elements and help to create the desired aesthetic.

### Technical Guidelines

**DTC-2** When a project is proposed in phases, each phase shall be designed to function independently, without reliance on improvements included in subsequent phases.

- When future phases are graded at the time of initial site grading, they shall be treated to prevent erosion, consistent with the Storm Water Pollution Prevention Program adopted for the project. The appearance of future phases that have been graded should also be considered. Hydroseeding is encouraged.
- When subsequent phases are under construction, they shall be fenced sufficiently to avoid conflicts between the occupied phases and construction traffic, and to protect the public safety.

### 5.3.2 Street Frontage & Pedestrian Environment

**Intent:** The emphasis is on a safe and suitable pedestrian environment. In order to create a vibrant, pedestrian friendly environment, attention must be paid to how the building relates to the adjacent buildings, streets, and alleys. (Figure 5.3.6)

### Design Guidelines

**DTC-3** Storefronts and major building entries should orient to streets, courtyards, or plazas. Minor side or rear entries are desirable when possible.

- In all of the Commercial/Mixed-Use Zones a continuous street frontage is encouraged in order for an active pedestrian environment to be established. (Figure 5.3.7)
- Buildings with more than 125 feet of street frontage should have more than one primary building entry.
- Providing overhead cover for pedestrians is encouraged (e.g., fabric awnings, projections from the building, umbrellas, etc.). (Figure 5.3.8 a-b)



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### 5.3.3 Refuse, Storage & Utility/ Equipment Areas

**Intent:** Ideally, the site design will accommodate truck loading and material handing on-site in designated areas. To minimize the noise, odor, and visual problems to adjacent structures, residential properties (including mixed-use buildings), and public streets, an attractive alternative or design is required.

#### Design Guidelines

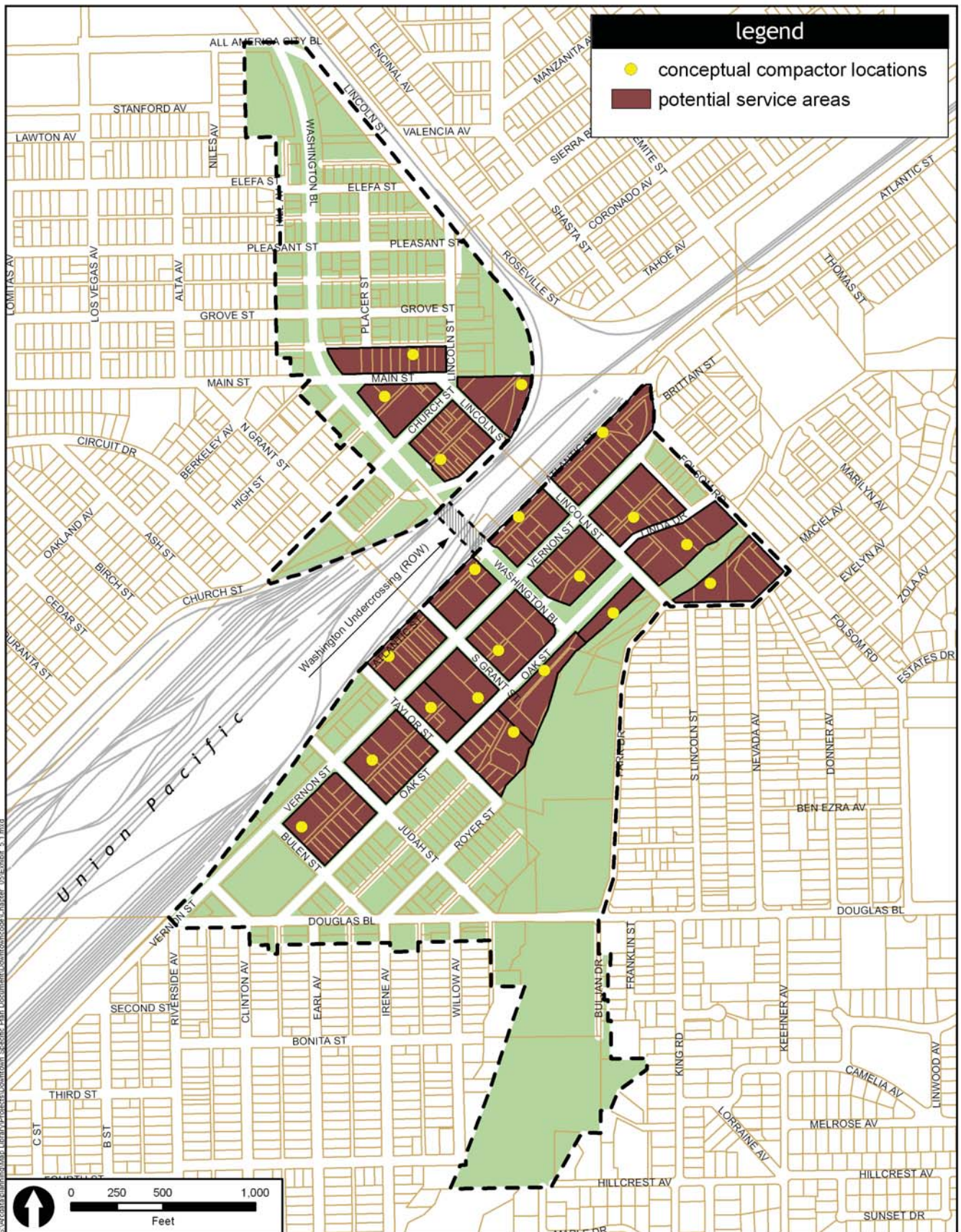
**DTC-4** Locate trash or compactor enclosures and service equipment in areas that do not detract from the appearance of the site, and if in highly visible areas, they are to be screened using construction materials, colors, and landscaping that are harmonious with the site and the building's architectural designs, and deter graffiti. (Figure 5.3.9 a-d)

- Trash bin and compactor enclosures should allow convenient access for commercial and residential tenants (see Exhibit 5.1). Master locations shown on this exhibit are for compactors that will be owned and maintained by the City.
- When feasible, trash bin and compactor enclosures should be located away from residential uses to minimize nuisance for the adjacent property owners. The enclosure doors should not interfere with landscaping, pedestrian, or vehicle path of travel.
- Refuse storage areas that are visible from an upper story of adjacent structures should provide an opaque or semi-opaque horizontal cover/screen to reduce unsightly views.
- Trash compactors should be internalized into the building design where possible.



Figure 5.3.9 a-d Examples of appropriate trash enclosures, and commercial compactor





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### Technical Guidelines

**DTC-5** Trash bin and compactor enclosure location, dimensions, and design shall comply with current City standards. Projects located within the City compactor service area should provide convenient and concealed locations for trash bins to allow easy transfer by the tenants to the compactor.

**DTC-6** Buildings that are constructed so that they are built from property line to property line shall provide internal garbage chutes. These chutes will be constructed so that the garbage bins are fully enclosed within the building. Compactors that are internalized into the building are also encouraged.

**DTC-7** Mechanical equipment and utilities mounted on the roof, side of a structure, or on the ground shall be screened from view. Utility meters and equipment should be placed in locations that are not exposed to view from the street or should be suitably screened. Screening devices are to be compatible with the architecture, material, and color of adjacent structures. (Figure 5.3.10)

### 5.3.4 Compatibility with Adjacent Properties

**Intent:** Respect adjacent buildings through consideration of mass, rhythm, scale, setbacks, height, building materials, texture, and related design elements. (Figure 5.3.11 a-b)

### Design Guidelines

**DTC-8** To ensure and protect the privacy of residents in adjacent single-family bungalow districts, windows in mixed-use and commercial projects directly facing single-family homes and within 15 feet of the property line, should be designed as either translucent, louvered, offset from existing single-family windows, located at least five-feet above the floor of each level, or another solution that satisfies the overarching goal to protect the quality of life for those who live in the adjacent single-family homes.



Figure 5.3.10 Example of appropriately screened utilities.



Figure 5.3.11 a-b These are examples of infill projects that do not consider the scale, size, architectural style, and overall context of adjacent projects.



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- Mixed-use and commercial projects should be designed to minimize vehicular circulation on streets through the bungalow districts.
- Guest parking areas should be located and designed to be convenient in order to minimize spillover to adjacent residential neighborhoods. Parking for residents, visitors, and employees should be accommodated onsite or on adjacent public streets that are not serving single-family residential.
- Facades and garages that face existing single-family homes should be designed to be comparable with the setbacks and scale of the existing development.



Figure 5.3.12 Outdoor gathering spaces and walkways are encouraged.



Figure 5.3.13 This photo illustrates an unfavorable relationship between parking and residences. It is recommended that separation should be at least five feet between the two.

### Technical Guidelines

**DTC-9** Setbacks shall comply with the requirements of the zone district and building codes where applicable

**DTC-10** Mixed-use or commercial projects shall consider how they relate to the area and community surrounding it. The design of structures should complement the street pedestrian realm by incorporating and/or interfacing with plazas, pocket parks, public gathering spaces, street furniture, and landscaping.

**DTC-11** The design shall clearly delineate between public space and private space.

**DTC-12** To integrate new buildings with the existing urban fabric, new buildings are encouraged to incorporate passageways and attractive plaza areas between buildings that allow light to reach adjacent buildings. (Figure 5.3.12)

**DTC-13** The building and parking should be at least five feet from the adjacent residences. (Figure 5.3.13)

**DTC-14** Consistent with General Plan policy, commercial sites that abut single family residential areas shall provide a minimum 6-foot high masonry wall along the boundary except at pedestrian access points and in cohesively designed mixed-use projects.



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**DTC-15** Compatibility of the uses shall be considered to determine the appropriateness of providing fencing between commercial and other land uses.

- Fencing between commercial uses and open space is discouraged. When necessary, such fencing should be an open type (such as wrought iron or post and cable) to allow for continuous views to the open space, unless needed to screen undesirable views.
- Fence materials and colors should complement the building design and the prevailing materials and design in the vicinity of the project.
- Materials and finishes should be durable and easily maintained, resistant to graffiti and water staining, and be able to withstand the local climatic variations.

### 5.3.5 Topography & Grading

**Intent:** Minimize the overall disruption to the existing grade through design. The exception would be the creation of subterranean parking.

#### Design Guidelines

**DTC-16** Natural topography should be integrated into site design to the extent feasible.

**DTC-17** Grade changes should be transitioned through landscaped slope banks and/or terraced retaining walls up to four feet in height where possible.



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**DTC-18** Retaining walls should reflect the overall identity or character of the development. Innovative wall designs are encouraged.

**DTC-19** Finished slopes should taper or terrace to match the existing grades and the grades on adjacent streets.

**DTC-20** Grade changes and berming should be used in conjunction with landscaping to screen undesirable views.

### **Technical Guidelines**

**DTC-21** Retaining walls should not exceed six feet in height.

- Retaining walls over six feet in height, when necessary, should be terraced with room provided for landscaping.

**DTC-22** Grading plans for sites with native oak trees should be designed to protect the long term survival of the trees.

- Grading within the protected zone of any native oaks tree shall comply with the requirements of the Tree Preservation Ordinance.
- Abrupt grade changes and extreme grade differentials around the trees should be avoided.
- Storm drains and other drainage outfalls should be located outside of the protected zone of native oak trees.



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### 5.3.6 Green Site Design

**Intent:** To promote better water quality, new development site design should implement the following:

#### Design Guidelines

**Green Site Design:** Consistent with the City's Stormwater Treatment Manual, surface water and pollutant runoff should be reduced by maximizing the use of pervious surfaces and vegetative ground cover.

- Use of permeable paving, pavers, turf stone, brick, and decomposed granite is encouraged.
- Use of natural topographic features or built swales for filtration of site drainage is encouraged.



#### Technical Guidelines

**DTC-23** Roof drains and parking lot run-off should be routed through turf or other landscaping.



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Figure 5.4.1 Uses on the first floor should be pedestrian-oriented.



### 5.4 Architectural Guidelines

#### 5.4.1 General Architecture Guidelines

**Intent:** The design of an infill building in the Downtown, particularly the front façade, can seek inspiration from the historically significant facades on the street but should not attempt to copy them. The contemporary infill structure should be compatible with **Downtown Code** zoning regulations in terms of height, façade rhythm, placement of doors and windows, color and use of materials without necessarily duplicating an architectural style from the past.

#### Design Guidelines

##### Commercial Uses

**DTC-24** The building front should have active commercial uses. Parking, mechanical, storage, etc. are not encouraged along the street edge.

- For mixed-use development on sites over 30,000 square feet, at least 30 percent of the linear frontage (excluding driveways/pedestrian connections) should be designed to accommodate pedestrian-oriented, neighborhood serving uses (e.g., retail, restaurants, etc.). The minimum depth of these uses should be 25 feet. (Figure 5.4.1)

##### Residential

**DTC-25** Any new residential uses located on the ground floor facing the pedestrian realm and especially on streets, should be designed with articulated facades, and incorporate design features (e.g., awnings, elevated steps and entrances, recessed windows, doors and patios, windows treated for privacy and pedestrian interest, etc.).

- New residential uses on the ground-floor fronting the pedestrian realm should be located a minimum of two feet above the sidewalk level or some other similar solution to provide a degree of privacy. (Figure 5.4.2)



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- Residential spaces that are innately less private (e.g., lobbies, exercise rooms, living rooms, or dining areas) should face the street while more private areas (i.e., bedrooms) should be sensitively located in the rear of the building or on upper floors.

### Street Environment

**DTC-26** To promote active, pedestrian-friendly streets, each individual tenant or business establishment and residential lobbies should be oriented to and accessible from the major street frontage and directly from the public sidewalk.

- Building plans, facades, and architectural details should be designed to create visual interest at the street level (e.g., staggering the frontage of the building, recessing doors and windows, providing awnings and canopies for weather protection and scale, and visually extending interior spaces outside through paving and glazing to create the concept of an indoor/outdoor room, etc.). (Figure 5.4.3)
- Development located at signalized intersections of major streets should include pedestrian-oriented, community-serving commercial uses.
- Awnings, arcades, and overhangs should be used in conjunction with street trees to provide shade for pedestrians.

### Building Design

**DTC-27** New development should respect the existing fabric of the community by reflecting historic mixed-use development patterns through the use of building indentations, breaks in buildings for open space, changes in color to avoid monolithic and monochromatic developments, etc.

- The area where the first floor commercial meets the second floor residential or other use should be clearly defined with a strong cornice, sign band, or other significant element. (Figure 5.4.4)



Figure 5.4.2 Residential adjacent to a sidewalk should be slightly raised for privacy.



Figure 5.4.3 Varying street facades, architectural treatments, and styles creates a fun, dynamic environment.



Figure 5.4.4 Varying street facades, architectural treatments, and styles creates a fun, dynamic environment.



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Figure 5.4.5 a-b Facade treatments at intersections should be holistic and continue on all sides of the buildings visible from the street.



Figure 5.4.6 Windows on upper floors should be compatible with windows and openings on the first floor.



Figure 5.4.7 Roofs are an opportunity to incorporate architectural design elements. However, overall roof forms should be flat.

- If the interior use requires a long building, the façade should be divided into smaller increments (e.g., window groupings, vertical pilasters, or other architectural elements). Avoid over articulation that may look forced or unauthentic.
- Corner buildings at prominent intersections require a higher standard of articulation, detailing, and architectural treatment than other buildings within the block. This heightened treatment should be applied to both facades of the building. (Figure 5.4.5 a-b)
- Buildings on less prominent corners should include storefront design that wraps around at least 50 percent of the side elevation wall.
- Windows on upper floors should be proportioned and placed in relation to grouping of storefront or other windows and elements in the base floor. Windows should have a vertical emphasis. The windows on upper store facades should be double-hung, tall and narrow in proportion, and spaced appropriately. (Figure 5.4.6)
- Projects should be designed to facilitate effective surveillance via the use of expansive windows. Large windows are inviting and allow pedestrians to see in, and shop owners to view the street scene creating a friendlier, safer, more social environment.
- In the Commercial/Mixed-Use Zones, roofs should be flat. However, well designed gables and other shapes typical of local context may be appropriate. Special corner elements, entrance area massing, and similar conditions may require roofs to vary from the suggested flat roof form. (Figure 5.4.7)
- The design and positioning of street facing balconies should be compatible with the design of the building (e.g., relate to overall massing, window placement and proportion, etc.). Balconies having some inset aspect are encouraged, and should not appear to be an afterthought. (Figure 5.4.8 a-c)



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- Bay windows and balconies that provide usable and accessible space are strongly encouraged. These elements may encroach on the public right-of-way when the project shares a right-to-use agreement with the City.
- Building signage should be integral to the façade design, placed in the sign band above the first floor windows or on blank wall areas specifically intended for signage. (Figure 5.4.9 a-d))



### Green Building Design

#### Design Guidelines

**DTC-28** Green building design should be considered in the project.

- Natural climate control features such as roofs with larger overhangs and trellises or deciduous trees over south-facing windows are encouraged to reduce energy demand.
- Use of windows for natural light indoors as much as possible is encouraged. Windows should be placed for cross-ventilation and airflow to promote natural cooling.
- Building materials that are less hazardous and/or are made from recycled materials are encouraged.



*Figure 5.4.8 a-c Balconies on upper floors should be designed with special care and attention to detail to ensure that they add to rather than detract from the building.*



*(Figure 5.4.9 a-d) Signage is a great opportunity to create a special place and environment .*



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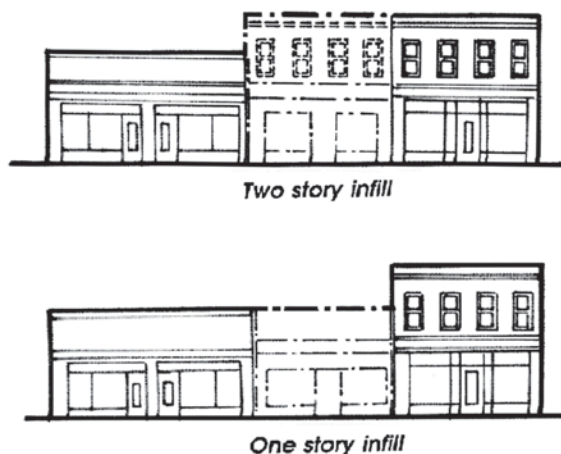


Figure 5.4.10 New construction should be similar to existing buildings in height, width, and rhythm of openings.

- Building designs that incorporate opportunities for renewable energy production such as solar panels are encouraged.
- Use of native vegetation is encouraged to reduce water consumptions for landscaping.

### 5.4.2 Façade Design – Rhythm, Proportion, & Articulation

**Intent:** Special attention must be paid to building facades in the Commercial/Mixed-Use Zones. New structures should reflect the established scale and rhythm suggested by the regulations of the **Downtown Code** and the traditional lot pattern. These guidelines do not apply to any of the Residential districts in the Specific Plan.

#### Design Guidelines

**DTC-29** Whenever an infill building is between two existing structures, every attempt should be made to maintain the characteristic rhythm, proportion, and spacing of existing door and window openings. (Figure 5.4.10)

- Building facades should be designed with a well-defined base, middle, and top to ground the building and create a distinct identifiable termination with articulated eaves. Careful attention to creating a human-scaled building form with a “base” and “top” in terms of form, height, and articulation help to create an inviting environment. (Figure 5.4.11)
- A well-defined “base” provides detail and articulation scaled to pedestrians. A distinct base also relates the building to the ground, and should consist of: thicker walls, richly textured materials (i.e., tile or masonry treatments), and/or darker colored materials and/or panels.



Figure 5.4.11 This building facade clearly shows a base, middle, and top.



## 5.0 Development Design Guidelines and Standards

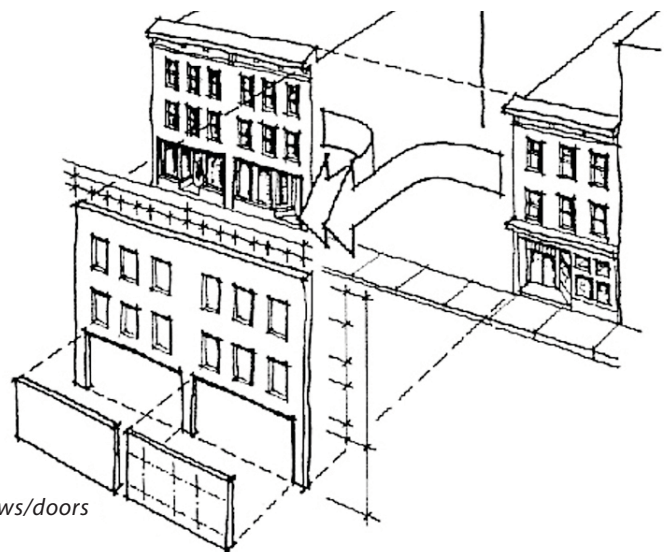
- A well-defined “top” provides a highlight, detail, or shadow line that caps the top of a building, giving it a distinct top. The top should consist of: cornice treatments, roof overhangs with brackets, stepped parapets, richly textured materials (i.e., tile or masonry treatments), and/or contrasting colored materials.
- Facade design should vary on large buildings (at most every 300 linear feet) to prevent the repetitive nature of a continuous facade. Variation and rhythm can be achieved through design techniques (e.g., division of one building into multiple buildings, articulating the facades into structural bays significant change in façade design, placement of windows and door openings, or position of awnings and canopies). (Figure 5.4.12)
- Whenever possible/appropriate, identify the common horizontal elements (e.g., cornice line, window height/width and spacing) found among neighboring structures and develop the infill design utilizing a similar rhythm or alignment.
- If maintaining a horizontal rhythm or alignment is not feasible, the use of canopies, awnings, or other horizontal devices should be included to maintain a consistent horizontal storefront rhythm. (Figure 5.4.13)
- The traditional relationship between upper story openings and street level storefront openings (windows and doors) should be maintained. Typically, there is a much greater window area (88 percent) at the storefront level for window displays. In contrast, upper stories have smaller window openings (approximately 40 percent). (Figure 5.4.14)
- Use smaller architectural elements on large buildings to create a pedestrian-friendly scale.



Figure 5.4.12 This long residential building facade has been visually broken up to emulate a traditional downtown environment.



Figure 5.4.13 This horizontal overhead trellis is a great design element that maintains a horizontal rhythm.



5.4.14 Upper level windows are smaller than ground floor windows/doors to mirror adjacent traditional downtown facades.



## 5.0 Development Design Guidelines and Standards



Figure 5.4.15 This building height is appropriate for a mixed-use infill project and incorporates an attractive corner element.



Figure 5.4.16 Varying building height helps promote human-scale development and a friendly pedestrian-oriented environment.

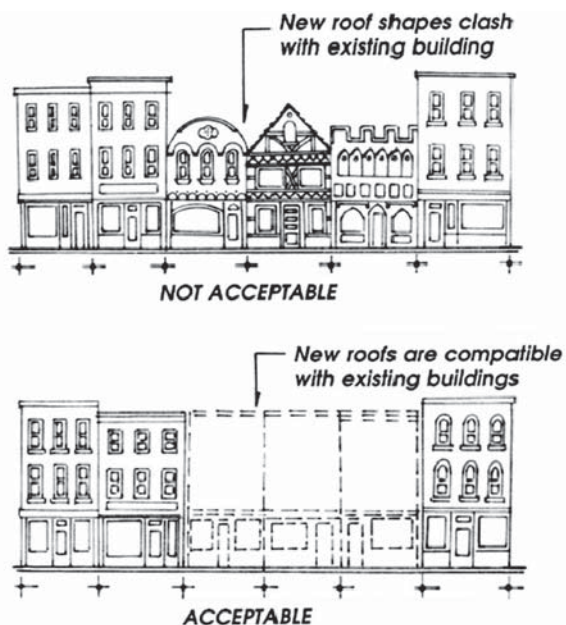


Figure 5.4.17 Roofs are an opportunity to incorporate architectural design elements. However, overall roof forms should be flat.

### 5.4.3 Building Height

**Intent:** Commercial building heights downtown must be sensitive to the context of the site and consider adjacent uses.

#### Design Guidelines

**DTC-30** In the Commercial/Mixed-Use Zones, three to five stories are preferred to create an active, downtown core. (Figure 5.4.15)

- The first floor height to the finished ceiling should be at least 14 feet to ensure appropriate scale of the base of the building in relation to the upper floors.
- Building height should transition from the maximum building height to a lower height when directly adjacent to a single-family residential zone.
- Heights, depending on specific district may go as high as 75-feet, and five stories.
- Variations in building height and massing as well as articulated facades are strongly encouraged as they create an interesting streetscape, contribute to community image, and improve the pedestrian realm. (Figure 5.4.16)

### 5.4.4 Roofs & Upper-story Details

**Intent:** Every effort should be made to ensure that commercial buildings in the downtown zone emulate a traditional downtown environment. Rooflines on commercial or mixed-use structures should be flat with parapets. However, pitched, and full roofs are appropriate for the residential zone. (Figure 5.4.17)



## 5.0 Development Design Guidelines and Standards

### Design Guidelines

**DTC-31** Roofline ridges and parapets should not run unbroken for more than 75 feet. Vertical or horizontal articulation is required.

- The visible portion of sloped roofs should be sheathed with a roofing material complementary to the architectural style of the building and other surrounding buildings.
- Radical roof pitches that create overly prominent or out-of-character buildings (e.g., A-frames, geodesic domes, or chalet-style buildings) are not allowed.
- Rooftops can provide usable outdoor space in both residential and commercial developments. (Figure 5.4.18)



Figure 5.4.18 Rooftop decks can create cozy and inviting retail and/or open space opportunities.

### Technical Guidelines

**DTC-32** All roof-mounted utility and communication equipment shall be screened from view by structural features that are an integral part of the building's architectural design.

**DTC-33** The following roof types are inconsistent with the character of the downtown: slope roof shapes on one-story commercial buildings, gable-end roofs, single pitch (shed) roofs, false mansard roofs, and curving roofs) These "pseudo roofs" are not permitted.



### 5.4.5 Building Materials & Colors

**Intent:** Building materials will incorporate two aspects: color and texture. If the building's exterior design is highly articulated, the wall texture should be simple and subdued. However, if the building design is simple (perhaps more monolithic), a finely textured material (i.e., patterned masonry) should be used to enrich the building's overall character. (Figure 5.4.19)

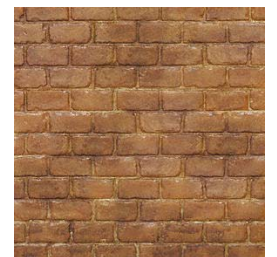
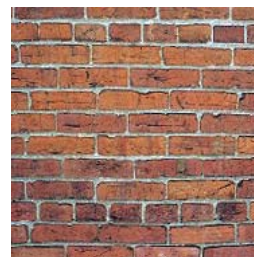


Figure 5.4.19 Recommended material palette.



## 5.0 Development Design Guidelines and Standards



### Design Guidelines

**DTC-34** High quality, durable finish materials should be used on the first floor street façade of buildings (e.g., face brick and stone, etc.). Utility, decorative scored or split-faced block are not allowed. Split face block might be considered at the base up to no more than 2 ½ feet above the sidewalk.

It is not the intent of these guidelines to control color, however, several general guidelines should be applied: (Figure 5.4.20)

1. Use subtle/muted colors on larger buildings;
2. Use rich/intense colors on small buildings or those with elaborate detailing;
3. Encourage contrasting colors that accent architectural details;
4. In general, no more than five and no less than three colors should be used on a façade, including “natural” material colors (e.g., unpainted brick, stone, etc.);
5. Avoid using more than one vivid color on a building;
6. Use colors that are harmonious with colors found on adjacent buildings.

Natural materials (e.g., brick, stone, copper, etc.) should be used where practicable.

Stronger colors should emphasize architectural details and entrances.

### Technical Guidelines

**DTC-35** Upper floor street facing facades should have finished quality materials (i.e., brick veneer or smooth troweled stucco are typically the most appropriate choices for a building in Downtown). Block, vinyl siding, or other low quality materials are not encouraged.

- Materials and colors should be selected to unify the building appearance and fit into the pedestrian context. The following list suggests those materials that are “encouraged” and “discouraged” for use in downtown Roseville: (Figures 5.4.21 and 5.4.22 a-b)



Figure 5.4.20 This building facade uses both traditional and contemporary materials, yet still respects the overall context of surrounding buildings.



## 5.0 Development Design Guidelines and Standards

### Encouraged Exterior Materials

1. Masonry, including granite, marble, brick, terra cotta, and cast stone;
2. Glass (transparent on ground floors);
3. Architectural metals, including metal panel systems, metal sheets with expressed seams, and cut, stamped or cast, ornamental metal panels;
4. New or used face-brick;
5. Stucco (hand troweled only);
6. Copper;
7. Painted metal;
8. Wrought iron.

### Discouraged Exterior Materials

1. Imitation stone (fiberglass or plastic);
2. Textured, treated, decorative concrete;
3. "Lumpy" stucco;
4. Rough sawn or "natural" (unfinished) wood;
5. Used brick with no fired face (salvaged from interior walls);
6. Imitation wood siding;
7. Plastic panels.

**DTC-36** New brick buildings shall not be painted.

**DTC-37** When deteriorating brick must be replaced, replacements shall match the old brick in color, texture, size and coursing technique.



Figure 5.4.21 Accent brick banding is a relatively simple design technique to create interest in the facade.



Figure 5.4.22 a-b Vibrant colors can be a refreshing contrast to the more traditional building colors when the overall architectural style is in line with adjacent buildings.



## 5.0 Development Design Guidelines and Standards



Figure 5.5.1 Plazas should be accessible from shops, restaurants offices and other pedestrian uses.



Figure 5.5.2 This plaza is accessible from ground floor uses and is visually connected to the uses above.



Figure 5.5.3 Landscaping and public art can make a plaza a more inviting place.

### 5.5 Plazas, Paseos, & Courtyards

**Intent:** Plazas, parks, and courtyards are an important feature of downtown Roseville. Plazas, parks, and courtyards must be welcoming and it must be clear that all are encouraged to take advantage of the space – that they are not a private amenity, but rather a public one.

#### Design Guidelines

**DTC-38** Site amenities help establish the identity of a downtown area and provide comfort and interest. Individual site amenities should have common features (e.g., color, material, and design) to provide a cohesive environment and a more identifiable character.

- Physical access should be provided from shops, restaurants, offices, and other pedestrian uses to plazas, paseos, and courtyards. (Figure 5.5.1 and Figure 5.5.2)
- A majority of the gross area of a plaza should have access to sunlight for the duration of daylight hours.
- Shade trees or other elements providing relief from the sun should be incorporated within plazas.
- Entries to the plaza and storefront entries within the plaza should be well lighted.
- Decorative paving used in plaza and courtyard areas should complement the paving pattern and color of the pavers used in the public right-of-way.
- Landscaping elements and public art should be incorporated into the plaza design. (Figure 5.5.3)
- Plazas should contain a visual and audible feature (e.g., a sculpture, fountain, or a display pond), and simple sitting niches that attracts pedestrians and serves as a landmark.



## 5.0 Development Design Guidelines and Standards

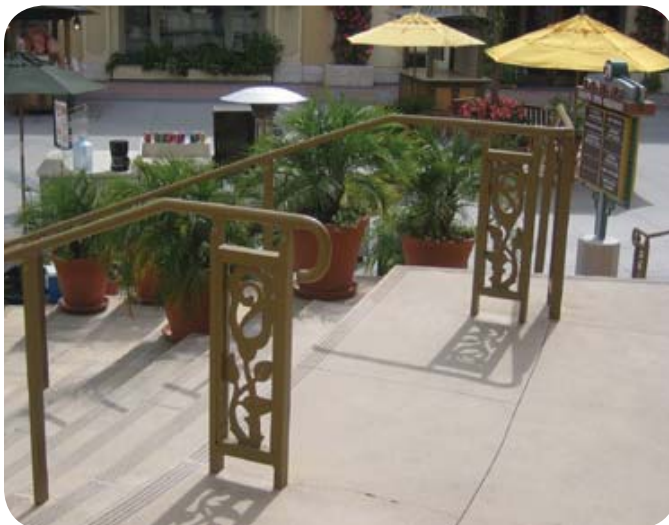
- Furniture and fixtures should be selected with maintenance consideration in mind. Ample seating in both shaded and sunny locations should be provided in the plaza areas.
- Courtyards should be designed to provide both visibility and separation from the street, parking areas, or drive aisles.
- Link plazas and courtyards to green spaces (e.g., Dry Creek and Royer Park) where feasible.
- Common semi-private recreational areas should be centrally located and preferably be designed as courtyards or outdoor rooms. Outdoor recreational furnishings, community amenities, public gathering spaces, trees, shrubs, and trellises for shade should be provided where appropriate. (Figure 5.5.4)
- On sites over 30,000 square feet, a useable open space or public gathering place accessible to the community (e.g., a pocket park, roof garden, expanded waiting area adjacent to a bus stop, etc.), public art is encouraged. (Figure 5.5.5 a-b)
- Buildings situated facing a plaza, paseo, or other public space are strongly encouraged.



Figure 5.5.4 This semi-private area is for residents and visitors only, not open to the public.



Figure 5.5.5 a-c Public gathering spaces for the entire community to use promotes a pedestrian friendly and welcoming environment.



## 5.0 Development Design Guidelines and Standards



Figure 5.6.1 Examples of attractive and appropriate street furniture.

### 5.6 Site Furniture

**Intent:** The choice, use, and implementation of site furniture is very important to convey the desired aesthetic. Site furniture must be well designed to encourage their use, be able to withstand the elements, and situated in appropriate locations – are shaded, clustered in groupings near site features like fountains and in plazas, etc. Projects using these amenities should incorporate adequate lead time for delivery and be designed so as to minimize the cost of replacement.

#### Design Guidelines

**DTC-39** Site furniture (e.g., benches, bollards, trash receptacles, bicycle racks, newspaper racks, and kiosks) should complement public streetscape elements and adjacent development. (Figure 5.6.1)

- Site furniture on walkways and sidewalks should maintain a clear passage for pedestrian traffic and should be placed to eliminate potential pedestrian/vehicular conflicts.
- Bicycle racks (e.g., “loop rack” and “ribbon bar”) should be selected that are durable and consistent with other streetscape furnishings. (Figure 5.6.2)



Figure 5.6.2 Bike racks should be attractive and blend in seamlessly with the downtown fabric.



## 5.0 Development Design Guidelines and Standards

- Kiosks/directories should be provided adjacent to vehicular and pedestrian entrances and pedestrian nodes. Kiosk siting should maximize visibility and minimize traffic hazards or obstructing views.
- While mailboxes are not a classic downtown “site furniture” element, they can create an opportunity to add another design layer to commercial and multi-family/mixed-use buildings. (Figure 5.6.3)
- Tree grates should be utilized at passages to provide a continuous walking surface. The required size of tree grates in areas open to the public and should be at least six feet by six feet. (Figure 5.6.4 a-b)
- Tree guards should be provided to protect trees in high activity areas. Tree guard design should be consistent with the adjacent development and should coordinate with public street furnishings. (Figure 5.6.5)

### Technical Guidelines

**DTC-40** The design of newspaper boxes should be consolidated into one rack system. The system should be attractive on all sides and conform to the standards established in Chapter 7, Section 7.7 of the **Downtown Code**.



*Figure 5.6.3 This mailbox is attractive and adds to, rather than detracts from, the overall building design.*



*Figure 5.6.4 a-b Mature trees in appropriate tree wells help generate a feeling of permanence for the new project.*



*Figure 5.6.5 This tree guard protects landscaping from being trampled under foot.*



## 5.0 Development Design Guidelines and Standards



Figure 5.7.1 The storefront is the most important architectural feature of many commercial buildings.

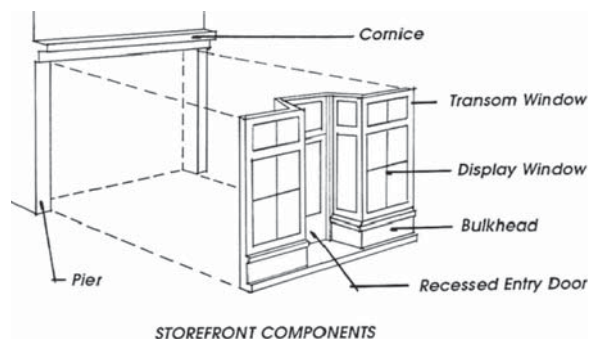


Figure 5.7.2 Storefronts should be open and welcoming.



### 5.7 Storefront Design

**Intent:** Attention to storefront design is an important element to a successful downtown environment. Appropriate content in, and well-designed features of, storefronts send a positive message. These standards are directed to reinforce the pedestrian environment and are required for all "Retail Frontage" streets in the Plan.

#### Design Guidelines

**DTC-41** Ideally, a well-designed storefront facade is comprised of: an inviting recessed entry door, transparent display and transom windows and/or doors that allow shoppers to view into the retail or commercial space, bulkheads beneath the windows to mirror traditional development, piers that frame the windows and/or door openings, and a decorative cornice treatment. (Figure 5.7.1)

**DTC-42** At least 65 percent of the ground floor façade of a commercial/retail use should be devoted to transparent windows and/or doors. (Figure 5.7.2)

- Window should be large glazed panels, possibly with small transom. Window patterns should have a slight inset and not appear flat. Glass shall be clear (88% light transmission).

**DTC-43** Storefront design comprised of a lower bulkhead not exceeding three feet above sidewalk grade is generally most appropriate.

**DTC-44** Buildings situated at a corner on two prominent streets should provide a focal corner entry to a shop, restaurant, or lobby space. (Figure 5.7.3)

**DTC-45** Contemporary design within a traditional downtown environment works if materials are high quality and very durable (marble, granite). (Figure 5.7.4)

**DTC-46** Entryways should provide a positive image to the streetscape. Entryways should have a minimum light level of one foot candle during evening hours. These lights should be equipped with vandal resistant covers.



## 5.0 Development Design Guidelines and Standards

- Recessed entries are strongly encouraged to provide both a covered resting place and protection from the elements.
- Where recessed entries occur, a decorative paving material (e.g., tile, flagstone, terrazzo, or slate) is encouraged.

**DTC-47** Where the façade is divided into distinct structural bays, awnings should be placed between the vertical elements rather than overlapping them. The awning design should respond to the scale, proportion, and rhythm created by these structural bay elements.

- The most purposeful awnings are retractable, should relate to the window or door opening (i.e., barrel-shaped awnings are only to be used to complement arched windows, while square awnings should be used on rectangular windows).
- Awnings should consist of a durable, commercial grade fabric, canvas, or similar material. Glossy, shiny plastic, or similar awning materials are not allowed.
- Awning should have a limited color palette. Lettering and trim utilizing other colors is allowed, but will be considered as a sign area.

### **Technical Guidelines**

**DTC-48** A successful building design celebrates and highlights the entry. At least two of the following methods should be used:

1. Change in wall/window plane;
2. A projecting element above the entrance;
3. A change in material or detailing;
4. Implementation of architectural elements (e.g., flanked columns, decorative features, etc.);
5. Recessed doors, archways, or cased openings;
6. A portico or formal porch either projecting from or set into the surface; or
7. Changes in the roofline, a tower, or a break in the surface to a wall.



*Figure 5.7.3 This corner storefront facade is inviting and exciting to those who walk and drive past.*



*Figure 5.7.4 This contemporary structure is inviting, attractive, and appealing due to use of high end materials.*



## 5.0 Development Design Guidelines and Standards



*Figure 5.8.1 Landscaping for multi-family residential should incorporate similar planting materials to create continuity.*



*Figure 5.8.2 The streetscape should incorporate a balance of hardscape and softscape materials.*



*Figure 5.8.3 a-b Plants and flowers in pots are easy to maintain and are charming.*

### 5.8 Landscape Guidelines

**Intent:** Private landscaping within downtown Roseville's nine districts should be different from the landscape treatments/methods in the suburban commercial and residential settings. (Figure 5.8.1)

#### Design Guidelines

**DTC-49** Landscape design should consider the scale and mass of a building and its relationship to the street and neighboring properties.

- Emphasis should be placed on California landscaping. Indigenous, ornamental plants vines, flowers in either container pots or on part of an arbor/trellis.
- Expansive surfaces can be visually screened with vines or foliage. Vines can be used to make a building's architecture more dramatic or soften hard materials.
- Courtyards, gardens, and fountains are very desirable in downtown Roseville. Landscaping within courtyards should include a balance of hardscape and softscape materials. (Figure 5.8.2)
- Ceramic, terra cotta, wood, or stucco decorative planters should be used to enhance private areas accessible by the public. Large freestanding planters in seating areas should provide an internal irrigation system. (Figure 5.8.3 a-b)



## 5.0 Development Design Guidelines and Standards

### Technical Guidelines

**DTC-50** Trees in paved areas should be provided with “deep root” barriers, automatic irrigation, and metal tree grates of adequate size, soil mix, and soil ventilation.

**DTC-51** Plant materials shall be selected and located to avoid conflicts with the underground or above ground utilities. Coordinate the placement of utilities to allow for the maximum tree plantings to occur within the streetscape design.

**DTC-52** Trees and shrubs planted at all intersections and driveways shall be selected and located to maintain safe sight line distances per the City’s Clear Vision Triangle as defined in the Zoning Ordinance.

**DTC-53** Tree selection and placement should allow for sufficient root space adjacent to paved surfaces. The following minimum planter widths (measured inside curbs) should be provided:

- Eight feet for large canopy trees (may be reduced to five feet with deep root barriers and irrigation)
- Six to eight feet for medium to large canopy trees
- Six feet for medium to small canopy trees
- Four feet for small canopy trees

**DTC-54** Trees should be a minimum of fifteen gallon size. It is recommended that larger sized trees be incorporated for accent or activity areas.

**DTC-55** Shrubs should be a minimum of one gallon in size; however, a mix of one gallon and five gallon shrubs is encouraged. Screen plantings may require five gallon minimum sizes in order to provide immediate effectiveness. Shrub ground covers may be specified in either liner or one gallon sizes.

**DTC-56** Landscape plans should be prepared by a licensed landscape architect and shall be prepared in accordance with the Water Efficient Landscape Requirements.



# 5.0 Development Design Guidelines and Standards

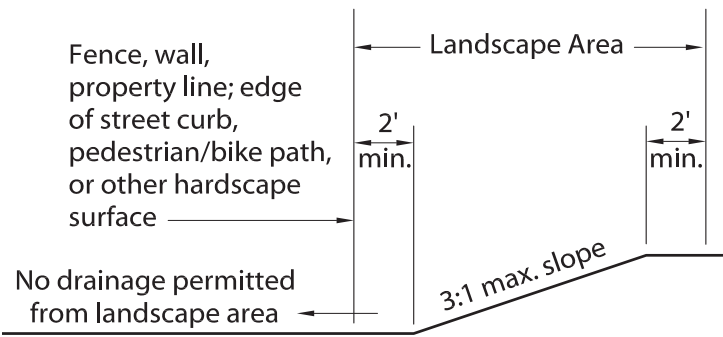


Figure 5.8.4

**DTC-57** Slopes for landscaped areas should not exceed three to one, and the minimum slope shall be two percent.

**DTC-58** The protected zone of native oak trees located in landscaped areas shall be treated with a bark or other appropriate organic groundcover.

**DTC-59** The top and toe of slopes within landscaped areas shall be setback a minimum of two feet from fences, walls, property lines, street curbs, pedestrian/bike paths or other hardscape surfaces in order to prevent drainage across these surfaces. (Figure 5.8.4)



Figure 5.9.1 Ambient lighting in trees and on patios/decks help to create a cozy and intimate environment.

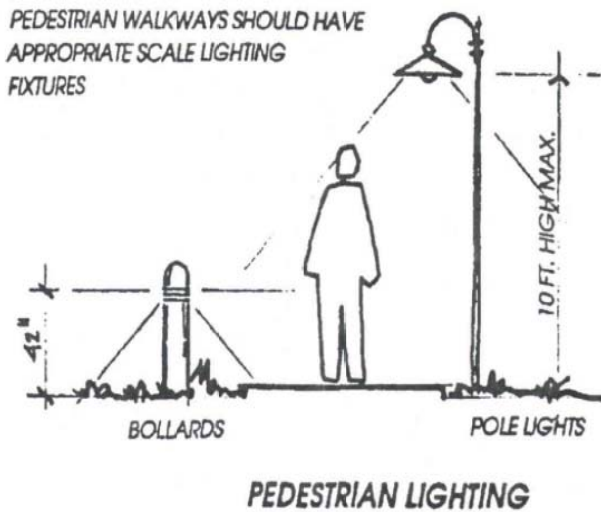
## 5.9 Lighting

**Intent:** Lighting levels should be sufficient for the safety of site occupants and visitors but should not spill over onto adjacent properties.

### Design Guidelines

**DTC-60** Specialty lighting in trees adjacent to or within outdoor patios and restaurants help to create a festive atmosphere and to encourage nighttime use by pedestrian of open spaces and plazas. (Figure 5.9.1)

- Lighting fixtures should be attractively designed to complement the architecture of the project and improve visual identification of residences and businesses.
- Exterior doors, aisles, passageways, and recesses should have a minimum level of light of one foot-candle during evening hours. These lights should be equipped with vandal resistant covers.
- In parking lots, a higher foot-candle level should be provided at vehicle driveways, entry throats, pedestrian paths, plaza areas, and other activity areas.
- Wall mounted lights should be used to the greatest extent possible to minimize the total number of freestanding light fixtures. (Figure 5.9.3)



Appropriately scaled and designed lighting will add to the overall aesthetic and set the proper tone.



## 5.0 Development Design Guidelines and Standards

- Lighting sources should be shielded, diffused, or indirect to avoid glare for pedestrians and motorists. (Figure 5.9.4 a-b)
- Parking and security lights will not be obtrusive to neighboring residential properties.
- On each project site, all lighting fixtures should be from the same “family” with respect to design, materials, color, style, and color of light.
- Lighting and trees should not conflict with one another.
- Neon and other specialized lighting effects that enhance the attractiveness of commercial streets, restaurants, and entertainment venues for pedestrian traffic is encouraged within the Old Town Commercial District. (Figure 5.9.5)
- Accent lighting within City maintained landscapes shall be above ground unless approved by the Parks and Recreation Department.

### Technical Guidelines

**DTC-61** Lighting that is less than 10 feet in height is considered pedestrian scale.

**DTC-62** Lighting sources shall have cut off lenses and should be located to avoid light spillage and glare on adjacent properties and in private spaces.

**DTC-63** Project addresses shall be clearly displayed and illuminated for easy identification by emergency response personnel.

**DTC-64** Pedestrian-scale light fixtures shall be of durable and vandal resistant materials and construction.

**DTC-65** Pedestrian walks should have minimum maintained illumination levels of 0.5 footcandles at the walking surface.



Figure 5.9.3 These wall mounted lights provide sufficient light to ensure freestanding fixtures are unnecessary.



Figure 5.9.4 a-b Accent indirect lighting is to be shielded to avoid glare. Lights should not compete with primary light sources.



Figure 5.9.5 Neon lights in the Historic Old Town and Vernon Street Districts can contribute to a lively pedestrian environment.



## 5.0 Development Design Guidelines and Standards

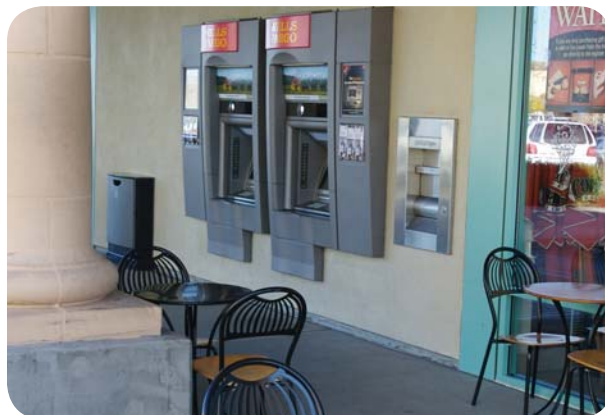
### 5.10 Defensible Space

**Intent:** Through building placement and design the overall atmosphere of an area can be improved in a pedestrian environment it is critical that there is a feeling of being “safe”.

#### **Design Guidelines**

**DTC-66** Crime Prevention Through Environmental Design (CPTED) best practices including, providing opportunities for natural surveillance, territorial reinforcement, and access control should be incorporated into project design.

- Consideration of building orientation, placement of windows, building and site entrances and exits, and parking lot design should be given to increase opportunities for natural surveillance (“eyes on the street”).
- Activity areas (e.g., plazas) should be located in highly visible locations to encourage use and discourage unwanted activity.
- Buildings and structures should be thoughtfully located to avoid creation of hiding places.
- ATMs should be located close to activity areas or building entries to enhance visual surveillance and increase safety.
- The concept of access control should be reinforced through the use of low fences, walls and landscaping, and enhanced paving, as appropriate.



## 5.0 Development Design Guidelines and Standards

### 5.11 Public Art

**Intent:** To encourage the integration of art into the overall design of individualized projects.

#### Design Guidelines

**DTC-67** Art features are encouraged public spaces.

**DTC-68** When provided, art features should be consistent with the overall design concept.

- The use of sculptures, murals, water elements, carvings, frescoes, mosaics, and mobiles is highly encouraged.
- Artwork should be located as to be visible by the public, and relate to the project in scale and concept.

**DTC-69** When and where provided, art features should enhance the quality and use of the public space.

#### Technical Guidelines

**DTC-70** The design and materials of the artwork should be durable against weather and vandalism, and should not require extensive maintenance.

- Art that is to be offered to the City shall be done so in accordance with established City policy in effect at the time.



## 5.0 Development Design Guidelines and Standards



### 5.12 Historic & New Signs

**Intent:** The following general criteria has been provided to encourage signage and graphic design that is consistent with and compliments the character of Downtown, attracts business and contributes to the quality of the commercial environment. Specific Sign Criteria is addressed in Chapter 8 of the **Downtown Code**.

**DTC-71** Existing historic and period signage should be retained and restored where possible, and new high quality signs that are compatible with the design context should be provided.

**DTC-72** The most common materials for projecting signs are enameled sheet metal with neon. Other types of materials, wood or metal, may also be acceptable.

**DTC-73** Signs that display the symbol, slogan or trademark of national brands of soft drinks or other products that do not form the bulk of the business transacted on the premises may be allowed if they are executed 'in a graphic style (i.e. color, lettering and illustrations) and with content appropriate to the traditions of the downtown. (For example: a "period" "Coca Cola" sign may be an acceptable addition to a cafe signage.)

**DTC-74** Traditional symbolic, three dimensional signs (such as a barber pole or a pawn shop symbol) are encouraged.

**DTC-75** Graphic imagery, ie. logos, lettering style, colors, product illustration or cartoons, etc. should be compatible with the era in which the building was constructed. Simple contemporary styles may also be appropriate as well as period revival styles of text.



## 5.0 Development Design Guidelines and Standards

**DTC-76** Some good examples of existing signs that display these attributes and are well designed, memorable and delightful include the Dainty Pastry Shop sign with its neon wedding cake.

**DTC-77** The use of neon or other exposed lighting when it is carefully incorporated into the signage design is encouraged in specific districts as noted in Chapter 8.

### Technical Guidelines

**DTC-78** All existing and proposed signs in the district are subject to the regulations contained in the Roseville Sign Ordinance, and Chapter 8 of the **Downtown Code**.

**DTC-79** Internally illuminated plastic “cabinet” signs, sheet plywood signs and other flat signs without three-dimensional character are prohibited.

**DTC-80** When designing new signs or restoring existing projecting signs, lettering styles, colors and materials must be consistent with the historic prototypes existing in the district. Internally illuminated cabinet signs are not acceptable.

**DTC-81** Materials shall be wood, metal, neon or other historically appropriate combinations of materials. Internally illuminated plastic letters or cabinet signs are discouraged.

**DTC-82** Sign lighting should be adequate to provide illumination for the sign, but subdued and indirect so as not to create excessive glare. Under canopy signs should not be internally illuminated and should be illuminated with concealed fixtures.

**DTC-83** All multi tenant and multi building projects must develop a planned sign permit program that defines guidelines for all existing and future tenants.



## 5.0 Development Design Guidelines and Standards



Figure 5.13.1 a-b Before and after pictures of Land Architecture building on Vernon Street



### 5.13 Building Additions & Renovations

**Intent:** The renovation/restoration of older commercial structures provides an excellent means of maintaining and reinforcing the traditional character of downtown. Renovation and expansion not only increases property values in the area but can also serve as an inspiration to other property owners and designers to make similar efforts. (See Figure 5.13.1 a-b)

When an applicant proposes a renovation of, or addition to, an existing structure, the work should respect the original design character of the structure when the original structure was historic in nature, or warrants it. The appropriate design guidelines in this section are to be implemented whenever a structure is to be renovated or expanded. In addition, renovation of structures of historic significance should follow The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, published by the U.S. Department of the Interior, National Park Service (available on the web at <http://www.cr.nps.gov/hps/TPS/tax/rhb/>).

#### Design Guidelines

##### **DTC-84 Preserve Traditional Features and Decoration**

- Carefully consider existing materials, details, proportions, as well as, patterns of materials and openings when additions or building renovations would affect the appearance of an existing building's exterior.
- Retain original decorative detailing whenever possible. Many times during remodeling, original decorative details are not integrated into the storefront design, rather treated as an afterthought or simply disguised/covered up. If the building is to be refurbished, those forgotten details should be accounted for.



## 5.0 Development Design Guidelines and Standards

- If the decorative detailing can be restored to its original condition it can be incorporated as design features in a new storefront.
- It is recommended that existing historic decorations be preserved since they reinforce the downtown character and add a richness of detail that is often irreplaceable at today's costs.

### **DTC-85 Removal of Elements Inconsistent with Original Façade**

- Restoration of buildings that have been substantially or carelessly altered is strongly encouraged. Buildings are altered over time in an effort to keep up with changing times or to define an image. Unfortunately, changes often result in gradual but severe erosion of the original character and cohesion of the core area.
- Existing building elements that are incompatible with the original façade design of the building should be removed. These include excessive use of exterior embellishments and "modernized" elements (e.g., metal grilles or aged materials).



## 5.0 Development Design Guidelines and Standards



### DTC-86 Storefront Renovation

- **No remodeling.** An original storefront with little or no remodeling should be preserved and repaired with as little alteration as possible if it is determined to be of historical significance. Refer to the Specific Plan EIR for confirmation of this determination.
- **Limited remodeling.** Where only part of the original storefront remains the storefront should be repaired, maintaining historic materials where possible, including the replacement of extensively deteriorated or missing parts with new parts based upon surviving examples of transoms, bulkheads, pilasters, signs, etc.
- **Extensive remodeling.** Where the original storefront is completely missing, the first priority is to reconstruct the storefront based upon historical, pictorial, and physical documentation. If that is not practical, the design of the new storefront should be compatible with the size, scale, proportion, material, and color of the existing structure.



### DTC-87 Window Replacement

The impact of windows on the façade is determined by the size, shape, pattern of openings, spacing, and placement within the façade. To retain the structure's original architectural balance and integrity, it is crucial to consider these elements when altering or reconstructing windows.

Whenever possible, and when the original windows are of high quality, the original window openings should be retained. If the existing ceiling has been lowered, the dropped ceiling should be pulled back from the window.

- If possible, the original windows and frames should be saved and restored. Missing, rotting, or broken sash, frames, mullions and muntins, with similar material should be replaced.



## 5.0 Development Design Guidelines and Standards

- Where transom windows exist, every effort should be made to retain the traditional storefront feature. If the ceiling inside the structure has been lowered, the ceiling should be sloped up or raised to meet the transom so that light will penetrate the interior of the building.
- If the original window openings have been altered, the openings to their original configuration and detail should be restored. Blocking or filling window openings that contribute to the overall façade design should be avoided.
- When replacing windows, consideration should be given to the original size, shape, detailing, and framing materials. Replacement windows should be the same operating type and materials as the original window.

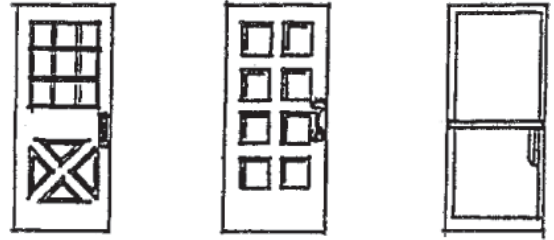
### DTC-88 Door Replacement

- Original doors and door hardware should be retained, repaired, and refinished provide they can comply with ADA requirements.
- If new replacement doors are necessary, they should be compatible with the character and design of the structure.
- While some types of metal doors may be compatible, contemporary aluminum narrow stile storefront doors and other types of hollow metal commercial doors that are incompatible with the context of the historic district are discouraged.

### DTC-89 Awnings

- Original awning hardware should be used if it is in working order or is repairable.
- The traditional canvas, slanted awning is most appropriate for older storefronts and is encouraged over contemporary hooped or box styles. (Figure 5.13.4)

### Unsuitable Storefront Doors



### Suitable Storefront Doors

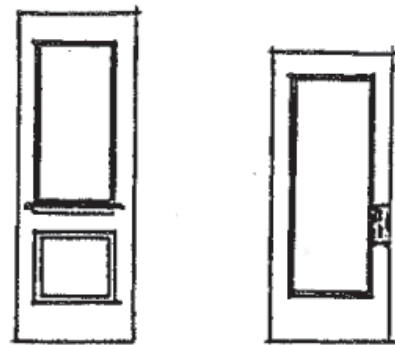


Figure 5.13.4 - 1920s Roseville photo shows traditional canvas awnings



## 5.0 Development Design Guidelines and Standards



- To encourage the provision of walkway coverings and distinctive designs that further enhance the storefront and streetscape, contribute to a pleasing pedestrian environment, and are traditional to the Historic Old Town and Vernon Street district.

### **Technical Guidelines**

**DTC-90** Glossy or leatherette finished vinyls, wood shake and composition shingles, and aluminum pre fabricated awnings are not compatible with historic storefronts and should be avoided.

**DTC-91** Glass awnings and glass canopies are, in general, not in keeping with the prevailing character of the Historic Old Town district. Their inclusion will require careful consideration in order to integrate them successfully into the historic building facades.

**DTC-92** With an encroachment permit, sidewalk canopies and awnings in the Historic Old Town district may project a maximum of six feet into the public right of way (so long as they do not project into the street area) with a minimum of eight feet of clearance to the sidewalk below.

### **DTC-93 Painting**

- Necessary repairs should be made to surfaces before painting (e.g., replace rotten wood, refill masonry mortar joints, remove rust from metal, etc.).
- Each surface should be carefully prepared according to the manufacturer's instructions. This will include scraping, sanding, and thorough cleaning. This surface preparation is an extremely important step toward a good finish job.
- Paint should be applied per the manufacturer's instructions. Paint only in satisfactory weather and use a primer as a first coat for a better surface adhesion. Follow with two coats of the final color.



*Necessary repairs should be made to surfaces before painting (e.g., replace rotten wood, refill masonry mortar joints, remove rust from metal, etc.)*



## 5.0 Development Design Guidelines and Standards

### DTC-94 Repair and Cleaning

- Surface cleaning should be undertaken with the gentlest means possible. Sandblasting and other harsh cleaning methods that may damage historic building materials is not allowed.
- When appropriate, waterproofing and graffiti proofing sealers should be used after cleaning and repair.

### DTC-95 Seismic Retrofitting

- Where structural improvements for seismic retrofitting affect the building exterior, improvements should be done with care and consideration for the impact on appearance of the building. Where possible, conceal the retrofitting efforts. When this is not possible, the improvements should be planned to carefully integrate into the existing building design.
- Seismic improvements should receive the same care and forethought as other building modifications. Exterior building elevations may be required with seismic retrofit submittals, showing the location and appearance of improvements.

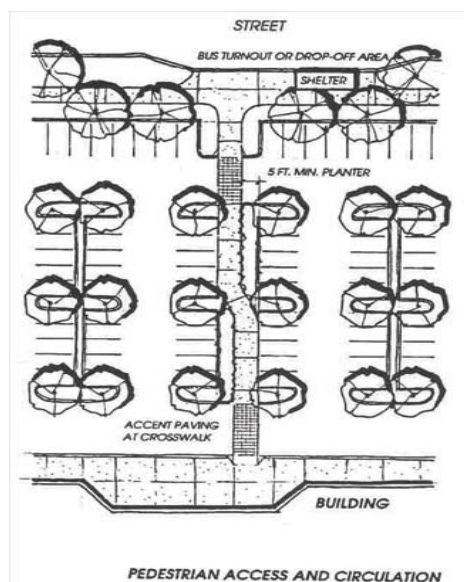


*Surface cleaning should be undertaken with the gentlest means possible. Sandblasting and other harsh cleaning methods that may damage historic building materials is not allowed*



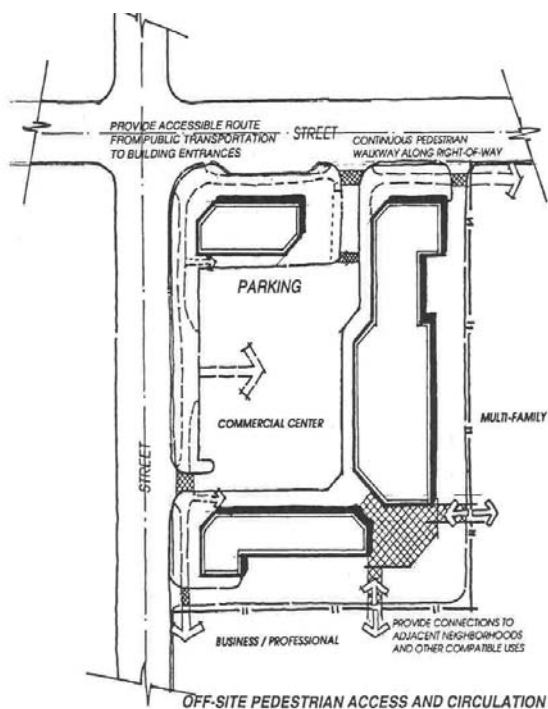
## 5.0 Development Design Guidelines and Standards

### 5.14 Parking & Circulation



**Intent:** To ensure that parking areas are carefully and appropriately designed and sited. The following factors should be considered in the design and development of off-street parking in pedestrian-oriented areas:

1. Ingress and egress with consideration to possible conflicts with vehicular and pedestrian traffic;
2. Pedestrian and vehicular conflicts within a parking lot or structure;
3. Reinforcing the street edge and a pedestrian environment;
4. Onsite circulation and service vehicle zones;
5. Overall configuration and appearance of the parking area;
6. Minimizing opportunities for crime and undesirable activities through natural surveillance, access control and activities;
7. Shading parking lots by means of canopy trees and other landscaping; and
8. Creating a sense of spatial organization and experiential meaning through the layout of the parking facility.



#### **General Considerations**

- Shared parking agreements between adjacent businesses and/or developments is strongly encouraged whenever possible.
- Surface parking areas should be separated from buildings by a landscaped strip. Conditions where parking stalls directly abut buildings should be avoided.
- Lighting, landscaping, hardscape, fencing, parking layout, and pedestrian paths should assist drivers and pedestrians in navigating through surface parking areas.



## 5.0 Development Design Guidelines and Standards

- Bicycle parking should be provided at each development and should be easily accessible and integrated into the overall site design.
- Parking structures below or above ground level retail or commercial uses are encouraged since they allow for pedestrian activity along the street while providing parking convenient to destinations within the downtown.

### 5.14.1 Access & Entries

**Intent:** Avoid and reduce conflicts between pedestrians, vehicles, utility poles, lines and equipment.

#### Design Guidelines

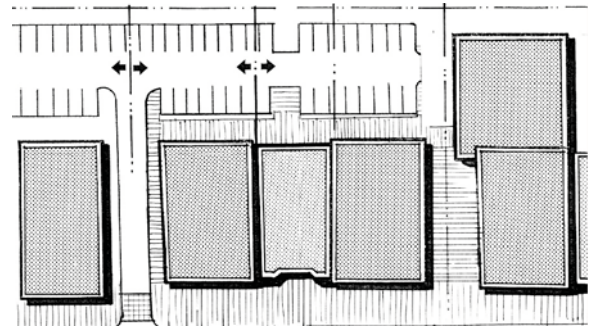
**DTC-96** Minimize the number of curb cuts to make the sidewalks and pedestrian areas safer and more walkable. Consolidation of building sites is encouraged to reduce the number of access drives from major roadways, and shared driveway access is encouraged whenever practical to further reduce vehicle/pedestrian interactions and safety concerns. (Figure 5.14.1)

**DTC-97** Vehicle access should be provided from side streets, adjacent alleys, and parallel streets whenever possible. Traffic calming techniques should be provided to minimize intrusion of traffic into adjacent neighborhoods. Where side streets, alleys, or parallel streets are not available, driveway access should be limited to no more than one 20-foot wide driveway per 200 feet of building frontage. (Figure 5.14.2)

#### Technical Guidelines

**DTC-98** Paving material for driveways, drive aisles, and walkways should be consistent with the architectural style of the buildings and should incorporate similar accent elements.

- Stamped and/or colored concrete or other decorative accent is encouraged.



shared parking and reciprocal access agreements are encouraged

Figure 5.14.1 Minimize pedestrian and vehicular interaction whenever possible.

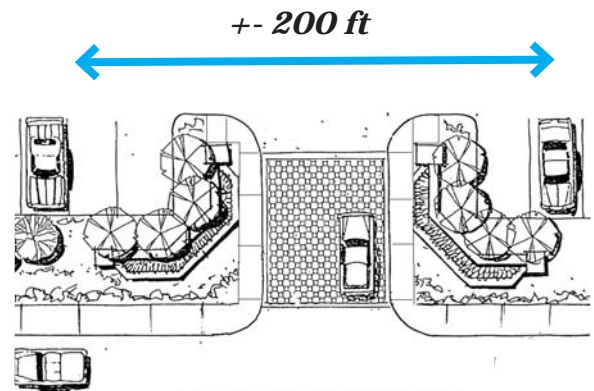


Figure 5.14.2 Alleys or side entrances should be provided whenever possible.



## 5.0 Development Design Guidelines and Standards



**DTC-99** Site circulation should allow for and facilitate emergency access to the site and all buildings.

- Speed bumps are strongly discouraged as they impede emergency response.
- Long, straight drives are discouraged to prevent speeding, which conflicts with pedestrian safety.

**DTC-100** Street and drive aisle widths, throat depths, stacking distances, and parking shall comply with current City standards.

- Required number of parking spaces shall be provided, as defined in Chapter 3 of the **Downtown Code**.
- Compact parking spaces, when provided, shall not exceed thirty percent of the number of required parking spaces, and should be dispersed throughout the parking lot and not concentrated or grouped in one area.
- All pedestrian circulation walks shall be designed to provide access to the disabled in compliance with the American's with Disabilities Act (ADA), California Title 24 and the City's Improvement Standards.
- Bicycle racks or lockers shall be provided in the quantity required by the Zoning Ordinance and should be located in highly visible and convenient areas.
- Projects that are required to prepare and gain approval of a Transportation Management Plan shall provide the required and optional elements as stipulated in the TSM Ordinance.



**DTC-101** Sidewalk corridors (i.e., designated pedestrian "spines") in parking lots should have a minimum of five feet of landscaping on at least one side of the walkway or alternating from one side to the other to provide a comfortable walking environment, including shade for pedestrians.



## 5.0 Development Design Guidelines and Standards

**DTC-102** Consistent with the Bikeway Master Plan and various specific plans, commercial projects may be required to provide bikeway improvements, including (but not limited to) connections to bike trails, on-street bike lanes, and/or Class 1A trails within the project's landscape frontage.

### 5.14.2 Surface parking lighting

**Intent:** Lighting levels in surface parking areas should ensure the safety of the site occupants as the primary goal.

#### Design Guidelines

**DTC-103** Lighting for surface parking lots and structures should be evenly distributed and provide pedestrians and drivers with adequate visibility at night. (Figure 5.14.3) This is accomplished through:

- The design of parking lot lighting fixtures shall be compatible with the architecture used in the development and not be on poles over 14' high. (Figure 5.14.4)
- Parking and security lights shall not be obtrusive to neighboring residential properties. (Figure 5.14.5)
- Lighting shall be shielded to minimize glare and painted to match the surface it is attached to.



Figure 5.14.3 It is important that lighting is evenly dispersed through the space.

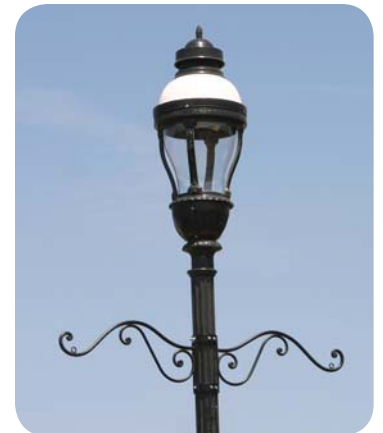


Figure 5.14.4 Parking lot fixtures shall be compatible with accompanying architecture and be less than 14' high.

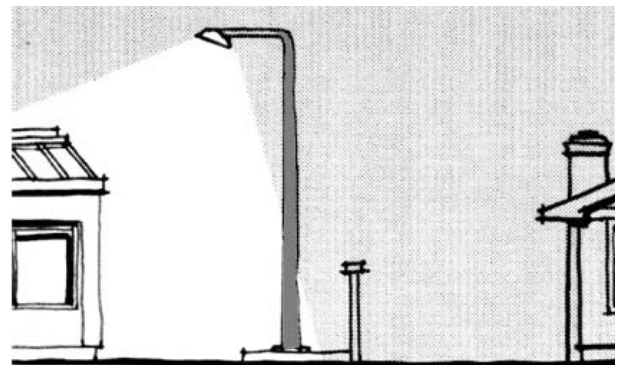


Figure 5.14.5 Lighting should not spill onto adjacent properties.



## 5.0 Development Design Guidelines and Standards

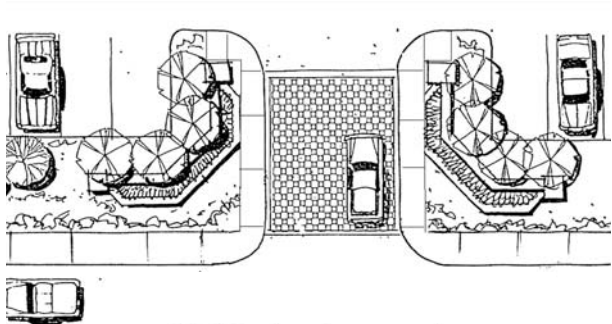


Figure 5.14.6 Enhance project entries with landscaping and special paving for visual impact.



Figures 5.14.7 a-b Provide significant pedestrian design elements with connections to adjacent buildings, and parking.



**DTC-104** Streets, entry drives, drive aisles, and parking areas shall have a minimum illumination level of 1.0 footcandle at the pavement surface.

**DTC-105** Pedestrian walks should have minimum maintained illumination levels of 0.5 footcandles at the walking surface.

### 5.14.3 Circulation

**Intent:** Design parking lots to ensure customers and deliveries are easily able to reach the site, navigate through the site, and exit the site. Clear, easily understandable circulation should be designed into the parking lot to allow drivers and pedestrians through the parking lot/structure without confusion. (Figure 5.14.6)

#### Design Guidelines

**DTC-106** Separate vehicular and pedestrian circulation systems should be provided whenever feasible. The layout of parking areas should be designed so that pedestrians walk parallel to moving cars.

**DTC-107** Pedestrian linkages between compatible uses should be emphasized. Parking lot and structure designs should include walkways and planting that help direct pedestrians comfortably and safely to their destinations. (Figure 5.14.7)



## 5.0 Development Design Guidelines and Standards

**DTC-108** Access by disabled persons should be incorporated into the overall pedestrian circulation system.

### 5.14.4 Landscaping

**Intent:** Landscaping is an essential design feature in surface parking areas. Landscaping helps to create the desired aesthetic and canopy trees provide shelter for cars and occupants. (Figure 5.14.8)

#### Design Guidelines

Parking facilities should be landscaped with the following objectives in mind:

- Visibly break up large paved areas with landscaping; (Figure 5.14.9)
- Maximize distribution of landscaping; and
- Promote compatibility and function as a “good neighbor”.

**DTC-109** Parking lots adjacent to a public side street should be landscaped to soften the visual impact of parked vehicles from the public right-of-way. Screening should consist of a combination of low walls (a maximum of three feet high) and landscape materials at the setback line.

**DTC-110** Use of a trellis situated above a wall or fence can visually maintain the street wall and improve the pedestrian environment along the street.



Figure 5.14.8 Creative landscape design makes parking lots more inviting for pedestrian circulation.



Figure 5.14.9 Planted islands break up large parking lots.



## 5.0 Development Design Guidelines and Standards

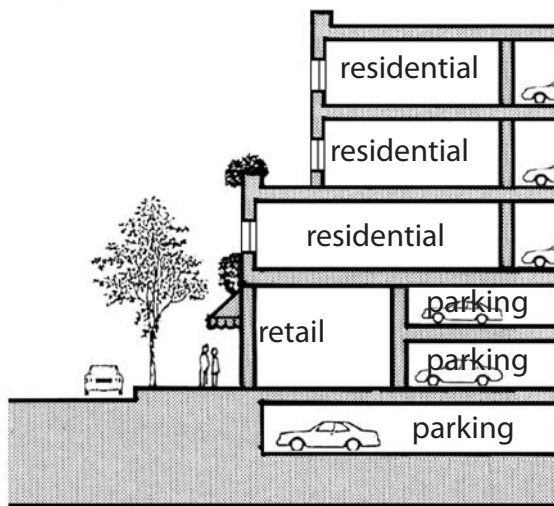


Figure 5.14.10 Incorporate retail or other compatible uses on ground floor whenever possible.

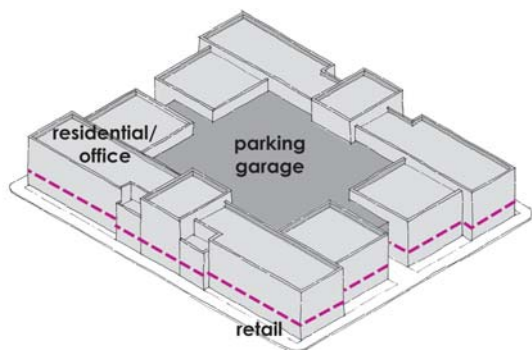


Figure 5.14.11 a-b Parking is contained to the site and is in a structure accessed from the rear of the building.

**DTC-111** A well thought-out selection and composition of hardscape materials can help order space and reinforce the relationship of the parking lot to its surroundings and to the buildings it serves. Entrances, exits, and areas that act as forecourts for entrances, may be suitable locations for special paving materials (e.g., brick or stamped concrete).

### Technical Guidelines

**DTC-112** Plant one tree for every six parking spaces to provide needed shade.

**DTC-113** Surface parking lots should be designed and planted with large canopy shade trees, with a goal of 50% shade requirement in 15 years. If this ratio is not achievable due to site constraints, the Planning Director can approve a deviation. (See Appendix A for Shade calculation example)

### 5.14.5 Parking for Mixed-Use

**Intent:** Parking for mixed-use projects shall be sensitively designed to ensure that adjacent properties are not impacted by new mixed-use infill development. Parking structures, tucked under parking, parking in the rear of the structure, and other creative solutions to providing parking are recommended, (i.e., access of parking structures and areas by alleys and side streets is encouraged).

### Design Guidelines

**DTC-114** Customer and tenant parking should be provided on-street, at the rear of buildings, in off-street parking lots or adjacent parking lots. Whenever possible, parking structures should be placed behind the mixed-use project.

**DTC-115** Larger parking structures should be mixed-use with non-parking uses fronting at street level to adjoining streets. (Figure 5.14.10)

**DTC-116** Parking should be contained to the site whenever possible either in parking structures or on-site parking. (Figure 5.14.11)



## 5.0 Development Design Guidelines and Standards

**DTC-117** Where it is practical, angled parking should be provided in front of ground floor retail/commercial use.

**DTC-118** Parking should be conveniently located near non-residential uses. Surface parking lots visible from the street and pedestrian area should incorporate landscaping treatments (e.g., trees, shrubs, groundcover, etc.). Masonry walls are strongly encouraged. Larger parking lots that are not parking structures should also incorporate landscaped medians where appropriate. (Figure 5.14.12 a-c)

- Centralized parking decks/courts within the mixed-use development or structure parking should be provided in projects that have a density of 30 units per acre or higher.
- Parking access may be taken directly from an alley.
- Adjacent properties should be adequately screened from the parking structures and surface lots. (5.14.13)

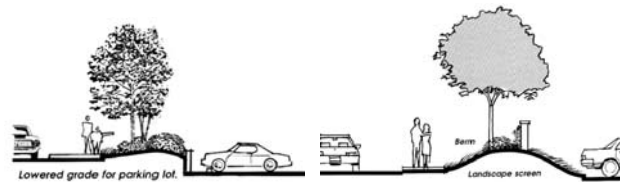


Figure 5.14.12 a-c Pedestrian paths are accented with pavers, landscaping, shade trees, and appropriate lighting.

### 5.14.6 Parking Structures

**Intent:** Parking structures are typically dominated by structural horizontal lines, and by a flat roof. To soften horizontal lines and positively enhance the look of the structure, elevations should be articulated and elements should be added that give the structure proportion that reflect other buildings in the downtown. The deck structure and railing pattern should not dominate the elevation.

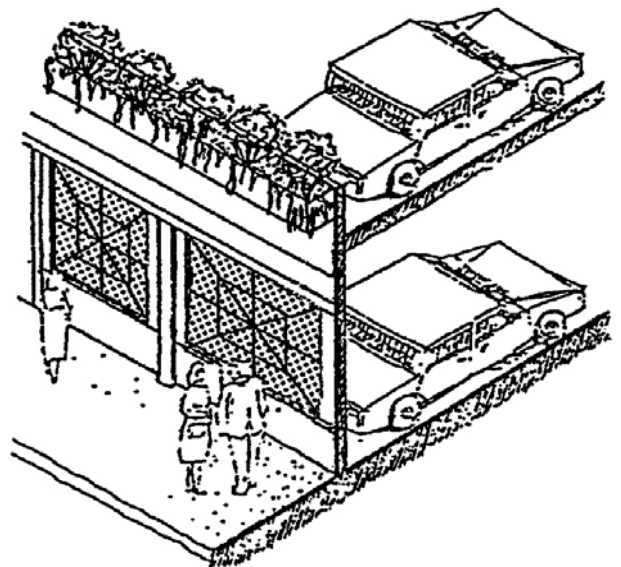
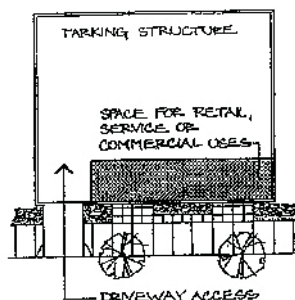
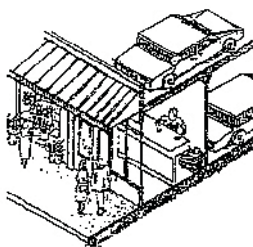


Figure 5.14.13 Examples of efficiently appropriate and attractive ways to screen parking structures from view.



## 5.0 Development Design Guidelines and Standards

### Design Guidelines

- Due to the more intense nature of development in the downtown, parking structures that promote compatibility, safety, and pedestrian activity are encouraged.
- Parking structures should provide landscaping along blank walls on side streets and upper levels.
- Development should “wrap” the garage to maintain positive frontage along the street with shops or other commercial space.
- Where parking structures are provided, the following design and operational features should be considered for public safety:
  1. The design of parking structures should allow maximum opportunities for natural surveillance into the structure;
  2. The public realm begins where the stairs end in a structured parking and should be treated as the public realm;

3. Where possible, elevators and stairs should be located on the perimeter of parking structures with natural surveillance from exterior public areas via glass-back elevators and glass at stairs and elevator lobbies;
4. Elevator lobbies and stairs in open parking garages should be open to the parking areas, except at roof levels where glass or other visually penetrable enclosures may be provided;
5. Elevator cabs should be provided with glass-back cabs where those elements are above grade;
6. Parking structures should have lighting in conformance with LEEPAC (Law Enforcement Environmental Association of California) standards;
7. Interior walls of parking structures should be painted a light color (e.g., white or light blue) to improve illumination and safety;
8. The parking structure should be designed to integrate into existing or proposed developments to allow direct access from different levels;
9. Coordinated signage, color, or features between developments should be used for wayfinding purposes;
10. Signs should be posted to inform users whether security escort service is available; and
11. Directional arrows and signage indicating exits, elevators, and emergency buzzers and telephones should be installed in easily accessible places on each level, in elevators and in stairwells;
12. These features are further addressed in Chapter 7 of the **Downtown Code**.

